CITY COUNCIL AGENDA REPORT

DEPARTMENT: **Community Development** **MEETING DATE:** **February 25, 2003**

PREPARED BY: **Alice Griselle, Community Development Director** **AGENDA LOCATION:** **D-1**

TITLE: **Tentative Tract Map No. 54139/ Conditional Use Permit CUP2003-01**
202 South Fifth Avenue

APPLICANT: Thomas Keiser, 550 West Duarte Road, Suite 4, Arcadia, CA 91007

OBJECTIVE: Construct a detached, eight-unit, 2-story Planned Unit Development in the Residential High Density (RH) zone.

BACKGROUND: The applicant is requesting approval of a Tentative Tract Map for an eight (8) unit Planned Unit Development (PUD). The development of more than two multi-family residences requires approval of a Conditional Use Permit.

The project is Categorically Exempt (Class 32) in accordance with the California Environmental Quality Act.

Planning Commission Meeting

At the January Planning Commission meeting, the applicant and two neighbors spoke in favor of the project at the hearing. The property owner of the property to the south at 222 South Fifth spoke in favor of the project but stated she liked the cedar fence between the properties and did not believe that a block wall is appropriate. The property owner to the north at 198 South Fifth liked the existing picket fence between her property and the subject property and wished it to remain. She stated that she also would like to see the pine tree in the front removed.

The applicant requested that the Commission consider changes to five Planning Conditions on Data Sheet No. 1. It appears that all the conditions have been resolved except the block wall requirement. The applicant has submitted a letter to staff indicating that he intends to pursue his request to delete the block wall at the City Council meeting. (See attached letter.)

The applicant is requesting modification of condition 2 which requires the construction of a decorative block wall on the north, south and east property lines The applicant's request is to construct a new block wall on the east property line and to the carport structure on the south property line He then proposes to use the neighbor's wood fence on the south as the property line fence.

On the north property line he proposes to replace the wood fence at the rear of the lot but retain the existing block wall and the white picket fence as the only property line screening. Please see attached site plan with pictures of the existing fencing and block wall.

After hearing the public testimony, the Planning Commission determined that the perimeter block walls were consistent with the previous requirements for block walls on other planned unit developments. Block walls are required by the code for planned unit developments. However, the Planning Commission can waive the block wall requirement if they so desire based on the condition of the existing walls and fencing Staff incorrectly informed the Commission that a variance was needed to eliminate the condition. However, the Commission desired to uphold the condition and since the application is automatically forwarded to the City Council, the request can now be made to the Council directly.

On February 18th, Staff met on-site with the applicant to survey the conditions of the existing fences and walls and determine the need for the construction of a new block wall In walking the perimeter of the site, it was mutually agreed upon by the applicant and staff that a decorative block wall will be constructed on the entire east property line. For the south property line, the applicant has proposed a block wall to the back of the carport and then to use the carport wall as the property line wall. Staff agrees that this is an acceptable proposal. The applicant is proposing to use the neighbor's wood fence as the only property line screening from the carport forward to the front property line. Staff and the Planning Commission are recommending that the standard decorative block wall be constructed in this location

On the north property line the applicant is replacing the wood fence at the rear, but wishes to retain the existing block wall and the picket fencing The block wall appears to be hollow cell and has extensive damage. The driveway is proposed along the north property line and the mishmash of picket fence and old block wall will be visible from Fifth Avenue The block wall will be 3' in the front yard setback and increase to 5 to 6 feet for the balance of the property line. Again, staff and the Planning Commission are recommending that a decorative block wall be provided.

The requirement for the decorative block wall provides for consistent application of an aesthetic and durability requirement for all planned unit developments Since 1997, all planned unit developments have constructed decorative block walls on the perimeter of the projects This is the first request from an applicant to delete this condition The homes in a PUD are for individual ownership and a decorative block wall reflects a quality development A block wall is much longer lasting and will not deteriorate from water and environmental conditions The primary reason for the change from cedar fencing with pilasters to decorative block in 1997 was the deterioration of the fencing seen in the condominium projects approved in the 1980's The fencing was becoming a code enforcement problem with the associations often reluctant to replace the fencing

The applicant has also stated that the neighbors do not want their fences disturbed. Although staff prefers that the existing damaged block wall and the existing fencing be removed and that the new decorative wall become the screening, the existing fencing and walls can be maintained if the neighbors so desire. The new block walls can be constructed next to the existing fencing and wall with the use of an "L" shaped footing This is no more difficult or expensive than a conventional footing.

The applicant has stated that he wishes to retain some of the trees on the south side of the property and that the footings will interfere The trees should be able to be saved if the footings are hand dug. Staff does not feel that any of these trees are particularly significant and could easily be replaced with new 24" box trees if so desired.

The Planning Commission and staff recommend keeping condition 2 in that the requirement for the block wall insures consistency in application of conditions for the Planned Unit Development, provides long-term perimeter walls, and provides for a quality project.

DISCUSSION/ANALYSIS:

Subject Property: The subject property is located on the east side of South Fifth Avenue in the RH (Residential High Density) Zone. The irregularly shaped property has 75.4 feet of street frontage on Fifth Avenue with a depth of 291.65 feet. The lot widens to 135.4 feet beginning 125 feet back from the street frontage. The 31,986 square foot lot is currently improved with three dwelling units. Access to the site is via a driveway along the north side of the property.

The surrounding land use consists of single-family homes to the north and west, an apartment complex to the south and a multiple family residence to the east. Zoning to the east, south and north is Residential High Density (RH) while the area to the east is the City of Arcadia with a zoning designation of Single-Family Residential (R-1)

Site Plan: The proposed site plan consists of an eight- (8) unit detached, two-story planned unit development. Access to the site will be via a 20-foot wide private driveway located along the northerly property line. The two-story units are evenly spaced along the southern and northern sides of the property. The front unit is orientated toward Fifth Avenue and the other seven units are orientated towards the private driveway. The driveway approach is slightly offset in the front yard setback and incorporates textured concrete along the entire middle section of the driveway Each unit has a two-car garage and there are four on-site guest-parking spaces. The front unit is required to have an additional parking space due to the square footage of the unit exceeding 2,000. The extra parking space will be restricted for use by the front unit and will be located to the rear (east side) of the unit.

The overall site layout provides adequate building separation and open space. The front yard setback is at 25'. The porch of the front unit encroaches 4' into the front setback An 8' setback is provided from the southern property line for the front unit and then a 13'6" setback (10% lot width) is provided for the rear units along the north and south property lines. The rear yard setback for the rear units is 20' feet.

Each dwelling will have private open space adjacent to the unit, meeting or exceeding the minimum requirement of 20% of the unit's floor area In this case, the total area needed for recreation space varies from 371 square feet to 450 square feet. The yard area being provided for the front unit (Plan A) is 960 square feet of private space. Plan B is providing 1,115 square feet of private space while the three units of Plan C will provide 651 square feet. The two units of Plan D will have the most private space at 1,820 square feet. Plan E, the unit directly behind the front unit, will provide 860 square feet of private yard.

The landscaping on the site will be a mixture of 24" and 36" box trees, shrubs, ground cover and sod. Of the existing 19 mature trees on the site, seven will be removed and the other 12

trees will remain. One of the trees to be removed is an oak tree that is located along the south side of the property line about one-third of the way back from the front property line. The tree is irregular in shape due to past trimming practices. An arborist report was submitted and states that the oak tree is recommended for removal due to heart rot that extends into the remaining trunk together with an unbalanced canopy. The report further states that this species of oak tree is known to be prone to trunk failure at areas where decay is present (see attached) The tree is not in a highly visible location and staff is recommending a replacement ratio of four 36" box oaks to be located on the site in place of the oak tree being removed A 36" diameter pine located in the front setback area will be retained. A plan prepared by a licensed landscape architect is required.

A trash enclosure will be provided for the eight units. It will be located behind the front unit and adjacent to the extra parking being provided for that front unit. It will be constructed as per City standards with a decorative block wall to match the block wall that will be installed on the perimeter of the property.

Building design/elevations:

The applicant is proposing a modern Craftsman architecture. The front unit facing Fifth Avenue provides a front porch and front facing door. The front porch will cover part of the front of the house and a trellis will extend along the other front half of the house Architectural detailing includes battered real river rock columns, decorative wood columns and a decorative open eave design. Craftsman style mullion windows, craftsman entry door, cedar shingle siding and 4" bevel siding complete the architectural detailing of the front unit The interior units are also Craftsman styling with front porches, tapered columns with real river rock base, decorative mullion windows and a combination of wood and stucco siding. Roofing materials consist of dimensional asphalt shingles.

The five floor plans offered are essentially the same layout with variations provided in the size of the rooms and by offering reversed layouts The front facing unit (Plan A) will have 2,252 square feet of living space and the interior units will have 1,937 square feet (Plan B), 1,887 square feet (Plan C), 1,857 square feet (Plan D), and 1,946 square feet (Plan E). Each unit provides a living room, family room, dining area, kitchen, and bedroom with full bath downstairs The upstairs provides two bedrooms, with full bath and a master bedroom with master bath.

FISCAL IMPACT: There is no direct fiscal impact to the City.

RECOMMENDATION: The Planning Commission and staff are recommending approval of the eight unit planned unit development to the City Council The architecture and site lay out are good and the density is in keeping with this section of Fifth Avenue. However, the Planning Commission and staff feel strongly that the quality of our homeownership housing should be kept at a high standard and that a continuous decorative block wall on the north, south, and east property lines is an essential component of the aesthetics and longevity of a project

COUNCIL ACTION REQUIRED: If the City Council concurs, following the public hearing, the appropriate actions are:

1. Find that Tentative Tract Map No. 54139 and Conditional Use Permit CUP2003-01 is Categorically Exempt from the California Environmental Quality Act.

2. Approve the findings on Data Sheet No. 4.

3. Approve Tentative Tract Map No. 54139 and Conditional Use Permit CUP 2003-01 subject to the Planning Conditions on Date Sheet No 1, Fire Conditions on Data Sheet No. 2 and Public Works Conditions on Data Sheet No. 3.

MOTION

Approve Tentative Tract Map No. 54139 and Conditional Use Permit CUP 2003-01 subject to the recommendations in the Staff Report.

REVISED CONDITIONS

DATA SHEET 1 Planning Conditions

TTM 54139/CUP2003-01 **202 South Fifth Avenue**

1. The development shall be constructed in strict compliance with the approved site, elevation and landscape plans.

2. A six foot high decorative block wall shall be provided adjacent to the rear (east) and side (north and south) property lines; reduced to three feet in the front setback area. A wall does not need to be constructed next to the carport wall on the south property line. The property line fencing or wall must be a minimum of five feet above the subject property's finished grade and a maximum of six feet above the adjacent property's grades.

3. All private recreation areas must be enclosed by 5' to 6' high cedar fence or approved alternative.

4. A decorative trash enclosure shall be constructed per City specifications. The area shall be completely enclosed by a solid decorative masonry wall with necessary gates constructed with approved screening material not less than six (6) feet in height. Enclosure shall incorporate a roof as per NPDES requirements. Bring design of enclosure to Planning Division for approval at time of building permit submittal. The trash enclosure area shall be redesigned to accommodate additional landscaping to the east and west and shall be submitted for approval by the Development Review Committee.

5. The landscape and irrigation plan by a licensed landscape architect shall be submitted to the Community Development Department for plan check showing the size, type, and location of all planting areas. Landscaping shall be a combination of 24"- and 36"- box trees, shrubs, groundcover and turf. All landscaping shall be maintained by a permanent, automatic, irrigation sprinkler system.

6 Four 36" box oak trees shall be incorporated into the landscaping plan to replace the oak tree that is being removed The 36" diameter pine tree located in the front setback area shall be retained. The trees shall be fenced and the existing grade shall not be altered around the trees as determined by an arborist.

7. Submit a landscape documentation package as required by Chapter 17.20 Water Efficient Landscaping and Landscape Irrigation System of the MMC (This is a requirement for all projects exceeding 2,500 square feet in landscaped areas except residential development consisting of three (3) or less dwelling units or ecological restoration projects.)

8 The developer shall submit all plans which shall show all trees to remain. These plans shall be submitted simultaneously with grading plan, and be drawn to same

scale as the grading plan A review of the tree plan may necessitate site design alterations

9 The area under the drip line of all existing trees, which are to be saved shall be fenced during construction and grading operations to prevent soil compaction around the trees and to protect them from damage

10 Landscaping shall be distributed throughout the parking area and shall be in addition to the required street setback landscaping

11 Any unimproved City right-of-way contiguous with the property shall be incorporated into the required landscape plan

12 Provide the Engineering Division with a grading and drainage plan Grading shall conform to Municipal Code, Chapter 15.28.

13 No driveway gates shall be allowed

14 Placement and design of mailboxes shall be reviewed and approved by both the U. S. Postal Service and the Planning Division

15 Electrical power and telephone service to the development shall be underground (cable, television and communication lines shall be underground and provided to each unit).

16 Ground level mechanical equipment shall be completely screened with landscaping and shall be required to be located a minimum of 5' (five feet) from all property lines, including interior property lines.

17 All utilities and structures such as gas meters, electrical meters, telephone pedestal-mounted terminal boxes, surface mounted electrical transformers, or other potential obstructions shall be noted on plan with provisions for appropriate screening

18 All paved parking and driveway areas shall be surfaced with portland cement concrete (3-1/2" minimum)

19 All driveway surface areas shall incorporate accent treatment throughout the design Accent treatment shall include stamped concrete or other approved treatment

20. All parking spaces shall be clearly marked by white 2" wide pavement paint or alternate method if approved by the Development Review Committee Double striping shall be used for delineating all parking spaces so as to provide a parking area of 8' 6" in width by 18" in depth

21 Adequate wheel stops shall be installed and maintained as a safeguard to abutting property. The barrier shall be at least three feet from any property line,

but in no case shall be less than necessary to meet the intent of Sections 17.24.060 through 17 24 120

22 The Conditions, Covenants, and Restrictions (CC & R's) shall be approved for the project before the final map is approved The CC & R's shall require the owners of any lot where a tree is required to be planted or retained to maintain trees at those locations. If the trees are removed for any reason, they shall be replaced with a 36" box tree of a similar species. See MMC Section 17.44.050(c)(4) for the conditions that must be included.

23 Final sample board including colors shall be submitted for approval with building plans

24 One waterproof sign (36" x 48" each) in both English and Spanish noting construction hours, noise control rules, and a phone number for contact shall be posted at the front of the site prior to grading or construction

25. The properties shall be enclosed by a chain link fence during construction.

26. The use or development associated with the Conditional Use Permit shall begin within one (1) year after its approval or it will expire

27 All of the above conditions shall be complied with prior to commencement of the operation

28 A lighting plan shall be submitted to the Development Review Committee for approval with specific review of the proposed light on Lot 6

29. The parking space indicated for Lot 1 shall be marked as reserved for that unit either by painting on the concrete or a sign.

30. The replacement oak trees shall be located as determined by a landscape architect.

DATA SHEET 2 — Fire Conditions

TTM53942/CUP2003-01 — **202 S. Fifth Avenue**

1. The Calculated Required Fire Flow per Fire Department standards, based on I S O requirements, is 1500 g.p.m. The water system may need to be evaluated to determine available pressure and quantity The required fire flow must be provided for the project

2. Underground fire mains which cross property lines shall be provided with CC & R's, easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of fire department plan check.

3 Yard hydrant(s) are required to be installed on the site. Installation and location(s) are subject to the approval of the Fire Department.

4 All fire hydrants shall be identified by a reflective blue dot marker and installed per the Fire Department requirements.

5 The water supply, including mains and hydrants, shall be acceptably tested and approved by the Public Works Department and Fire Department PRIOR to the framing stage of construction and/or on-site combustible storage, to assure availability and reliability for fire fighting purposes. Phased construction shall ensure that the water systems are independently adequate to provide for the necessary fire flow from phase-to-phase in the construction planning.

6 **A fire flow – hydrant flow test is required prior to the design of all fire sprinkler systems. This information will provide the designer or contractor(s) with the needed information for bidding of design.** The test can be conducted by any qualified and C-16 licensed fire sprinkler contractor and the results sent to the Fire Department for approval prior to use The test can also be conducted by any of the fire sprinkler plan review consultants utilized by the Fire Department Contact the Fire Department for a list of consultants and test information

7 A residential fire sprinkler system is required Said system shall be designed and installed to standards approved by the Monrovia Fire Department Plans shall be submitted to the Fire Department for review and permits (Information sheet available from the Fire Department.)

8 The minimum width of the required fire department access roadway shall be according to the City of Monrovia General Plan . Parking may be permitted if there is at least 28 feet in width (Information sheet available from the Fire Department)

9. Access drives which cross property lines shall be provided with CC & R's, access easements, or reciprocating agreements, and shall be recorded on the titles of affected properties, and copies of same shall be provided at the time of building plan check

10. Fire Lanes are required to be installed in interior access roadways. (Information sheet available from the Fire Department)

11 Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Multi-tenant or building projects shall have addresses and/or suite numbers provided on the rear of the building Said numbers shall contrast with their background

12. Large trash receptacles, commonly known as dumpsters, that are placed adjacent to structures or in areas with heavy accumulations of vegetation extending over the top of the receptacles, shall be protected by at least one automatic fire sprinkler head. This sprinkler head may be supplied by the domestic water line.

13 All Fire Department inspections shall be requested a minimum of forty-eight hours in advance, and will be scheduled as requested based on available personnel. Contact 626-256-8181.

14 Curbs adjacent to Fire Department connection(s) shall be painted red, five feet either side, per City standards.

15. The developer shall transmit a copy of these requirements to his on-site contractor to foster a mutual understanding between on-site personnel and the Fire Department

16 The developer/general contractor is responsible for reasonable periodic clean up of the development during construction to avoid hazardous accumulations of combustible trash and debris both non-acid off- site. Open fires are not permitted as they pose a hazardous situation; consequently, the developer/general contractor will be cited for this.

17 **Complete architectural and structural building plans**, including all specifications, shall be submitted to the Fire Department through the Building Department for review prior to the issuance of any building permits. These plans and specifications shall include, but not be limited to, construction type, exits, fire protection equipment, building protection, and interior finish. The developer is responsible for, and shall apply for and receive, all Fire Department permits, paying all necessary fees, prior to beginning construction.

18 Spark arrestors are required on all sizes of fireplace chimneys and are to be substantially constructed using wire mesh, minimum size of 16 gauge and maximum size of 12 gauge, openings not exceeding one-half inch or less than three-eighths inch, and securely mounted to avoid movement. Spark arrestors must be visible from the ground

19. All roof covering shall be of fire resistive materials only. (Class A or Class B according to the Uniform Building Code.) Materials shall be approved by the Building Department.

20 Any and all covenants, conditions and restrictions shall include maintenance of the following noted fire protection items:

On-site water supply and fire hydrants
Fire lanes

The following is a list of possible plan reviews necessary for completion of this project Some of these are "shop drawings" and specifications done by sub-contractors. Plan review fees and permit fees may apply -- check with the Fire Department for confirmation.

On-Site Water & Fire Hydrant Utility Plans
Fire Sprinkler
Fire Lanes

21 Provide building address numbers, minimum of 6 inches for address numbers located farther than 25' from the curb face, and minimum of 6 inches for address numbers located within 25' from the curb face, and visible from the opposite side of the street.

22. All Fire Department plan review fees to be paid prior to Issuance of any permits

DATA SHEET 3 Public Works Conditions

TTM54139/CUP2003-01 **202 South Fifth Avenue**

The Director of Public Works requests that all of the conditions appearing below be attached to the Development Application. All conditions shall be met prior to the final approval of the project.

1. Provide the Engineering Division with a soils investigation report and a grading plan and related drainage information. The soils investigation shall evaluate the soils percolation characteristics for storm drainage considerations. Each lot shall handle its own drainage and shall be directed to Fifth Avenue. Grading plan shall conform to MMC Chapter 15.28 and be prepared on a maximum 24" x 36" sheets with City title block Required public improvements may be shown on the grading plan along with site drainage

Drainage review shall investigate and report on the methodology to handle drainage onto this site from adjacent properties and determine if the drainage area can handle the additional drainage if applicable.

All grading is to be done under the supervision of a licensed engineer qualified in soils field. Upon completion of the grading, the Soils Engineer shall file a certification with the Public Works Department that he supervised the grading and that the grading was done pursuant to the City of Monrovia Municipal Code, Chapter 15.28, and the grading plan approved by the City.

2 The development shall comply with the City's Stormwater Management Ordinance, MMC 12.36. The design, implementation, construction activities and maintenance of the management devices shall mitigate and reduce pollutants in storm water discharges to the maximum extent practicable and shall be identified on the grading plans See attached Priority III Construction Project handout for project requirements.

Based upon the Standard Urban Stormwater Mitigation Plan requirements of the Los Angeles County Municipal Storm Water National Pollutant Discharge Elimination System (NPDES) Permit issued by California Regional Water Quality Control Board, Los Angeles Region, the following shall be incorporated into the project application·

SUSMP Requirements

- Applicant must submit to the City a **Local Stormwater Pollution Prevention Plan** (L-SWPPP), **Forms LS-1** & **LS-2** to· identify potential sources of runoff pollution, select BMPs to reduce discharge of potential pollutants to the storm drains system; prevent illicit discharges or connections of potential pollutants.
- If construction occurs during the rainy season (October 1 to April 30), the applicant must submit a **Wet Weather Erosion Control Plan** (WWECP) to the City, **Form LS-**

3, and incorporate the applicable BMP's selected/listed into the project

- All sediment and erosion control measures shall be incorporated
- Forms are available from the Engineering Division
- **Building and Grading permits will NOT be issued until the applicant provides the City with the required forms, and all BMPs selected have been reviewed and approved.**

General Conditions

Based on the Development Planning Program and Storm Water Program Planning Priority Checklist (Form PC), this project is **NON-exempt**, and the applicant **SHALL** demonstrate mitigation of the following options:

- The project shall require that post-construction Treatment Control BMP's incorporate, a volumetric treatment control design standard, or both, to infiltrate, filter or treat storm water runoff from the project to capture the first ¾ inch of storm runoff.
- Control of Impervious Runoff
- Roof down spouts must not be directed to trash enclosures or material storage areas Down spouts should be discharged to gravel or heavily vegetated areas whenever possible.
- Trash containers shall be enclosed to prevent discharge of trash, and be equipped with lids, or screened, roofed or walled, and runoff should be diverted around trash areas to avoid flow through
- Trash enclosure drainage should be directed to vegetative areas whenever feasible
- Storm drains should be stenciled. All yard drains and catch basins to the street or storm drain system must be stenciled or labeled with the "No Dumping – Drains to Ocean" logo or equivalent
- Outdoor storage must be equipped with adequate secondary containment or other equivalent measures to reduce contamination of runoff. This applies to storage of both hazardous and non-hazardous materials (solids or liquids)
- The project shall provide verification of maintenance provisions for structural and treatment control BMP's, including but not limited to legal agreements, covenants, CEQA mitigation requirements, and or conditional use permits

The following forms have been provided to the applicant:

A Brochure City of Monrovia Planning Developer's Guidelines and Review (Applicant Retains)
B. Stormwater Best Management Practices (BMPs) – General Construction & Site Supervision
C Development/Planning – Minimum Project Requirements (Applicant Retains)
D Form PC – Storm Water Program Planning Checklist (Applicant Returns)
E Form P1 – General Project Certification (Applicant Returns)
F Form OC1 – Minimum BMPs for all Construction Sites
G Form LS-1 – Local Storm Water Pollution Prevention Plan (Applicant Returns)
H Form LS-2 – Local Storm Water Pollution Prevention Plan, BMP Table (Applicant Returns)
I Form LS-F – Sample Project Site Diagram, Local Storm Water Pollution Prevention Plan (Applicant Retains)

J. Self Inspection Forms (Applicant Retains)
K. Form LS-3 – Wet Weather Erosion Control Plan (Applicant Returns, if applicable)

3. Connect all buildings to the public sewer, The sewer is to be constructed in the common driveways through new 6 inch lateral(s) with clean-out(s) at property line per City standard drawing S-215 and S-225. Install onsite sewer main in driveway and separate building laterals of size and materials specified by the Building Division. Cap off all abandoned laterals at the property line per request of Community Development - Building Official.

4 Obtain permits for all work within the public right-of-way from the Public Works Department. Submit utility plan showing all proposed utility cuts for services such as Water, Sewer, Gas, Edison, Telephone, etc . Pay all applicable fees for Engineering Division services for issuance of Public Works permits.

5 Apply to the City's Utilities Division for new water services and for removal of all unused meters by the City Construction costs will be based on actual time and material incurred by the City.

6 Remove abandoned utility (natural gas, etc.) boxes and meters.

7 Remove existing driveway aprons Construct new driveway approaches per City standards

8. Remove and replace any public curb, gutter, sidewalk, or pavement found by the City Engineer to be broken, uplifted or damaged. Construct sidewalk, as required, per City standard drawing S-360 to match existing improvements on adjacent properties. Sidewalk width may need to exceed 5' to accommodate 4' clear area around existing obstructions.

9 The City requires the restoration of the existing pavement after utility installation Restoration is required from the outer limits of the area covering and encompassing all the utility cuts Restoration of asphalt pavement shall be 1 1/2 inch pavement grind and 1 1/2 inch asphalt overlay.

10. Landscape and maintain unimproved City right-of-way on Fifth Avenue.

11 Provide trash enclosures, compliant with the City's Stormwater Management Ordinance, with roof structures and not occupying guest parking stalls

File PlanningComm/TM54139 swm

DATA SHEET 4 — Findings

TTM 54139/CUP2003-01 — **202 South Fifth Avenue**

TRACT MAP NO. 54139

As required by the of the Monrovia Municipal Code, the Planning Commission shall make its decision for approving the Tract Map based on finding the following

A That the tract map subdividing the existing 31,986 square foot parcel for development of an 8-unit Planned Unit Development is consistent with the General Plan and satisfies the requirements of the Map Act and of this code.

B. That the design of the proposed Planned Unit Development is consistent with the General Plan

C. That the site is physically suitable for the type of development.

D. That the site is physically suitable for the proposed density of development, specifically the 31,986 square foot parcel is zoned RH and is being developed at less than the permitted density and floor area ratio

E That the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage since the site is already developed

CONDITIONAL USE PERMIT

As required by Section 17 52 290 of the Monrovia Municipal Code, the decision for granting the conditional use permit at 202 South Fifth Avenue shall be based on the following findings

A. The proposed eight-unit development project can be accommodated on the site in a way that is appropriate to its size, shape and topography

B. This project conforms to the various development standards, zoning regulations, and provisions of the General Plan, and will not adversely impact the intention of any of these

C Based on the design, siting and traffic load anticipated, this project will not have an adverse impact on the roadway system in either quality or quantity

D. The granting of a conditional use permit for the proposed project will not have an adverse impact on the health, safety, or welfare of the neighborhood or community in that the site will be upgraded to include new landscaping, perimeter wall and architectural amenities

DATA SHEET 5 Surrounding Land Uses

TTM 54139/CUP2003-01 **202 South Fifth Avenue**

Property Description:

The site has a street frontage of 75 4 feet wide by 291 65 feet deep with an area of 31,986 square feet The topography is flat It is currently developed with three residential units.

Zoning

Subject site: RH (Residential High Density)

Surrounding pattern:

north: RH (Residential High Density)

south: RH (Residential High Density)

east: RH (Residential High Density)

west: City of Arcadia Residential Zone

Land Use

Subject site: Multi-Family Residential

Surrounding pattern:

north: Single Family Residential

south: Multiple Family Residential

east: Multiple Family Residential

west: Single Family Residential - City of Arcadia

Environmental Determination: Categorical Exemption

Applicable Ordinance Regulations: MMC §17 12.030 Regulations for multiple family residential, MMC §17.52 020 Planning Commission Authority for CUP

Law Offices
THOMAS KEISER
Suite 4
550 West Duarte Road
Arcadia, California 91007
(626) 447-3539 • FAX (626) 447-3542
State Bar #71447

January 23, 2003

Steve Sizemore, Planning Director
City of Monrovia
415 S. Ivy Avenue
Monrovia, CA 91016

Re: 202 S. Fifth Avenue, Monrovia/Proposed 8 Unit PUD
Block Wall

Dear Mr. Sizemore:

Enclosed is a copy of the PUD standards from the Monrovia Municipal Code, Section 17.44.050.

Subpart g states the requirement of a block wall "may be waived upon recommendation of the Planning Commission".

At the hearing on January 15, 2003, I made a presentation requesting a block wall not be required in the front on both the north and south side property lines. Both adjoining property owners were present. Both spoke at the meeting in favor of my request.

The property to the south has a new (2 years old) cedar fence on steel posts. The fence runs from the Fifth Avenue frontage down the south property line, approximately 180′ east.

The property to the north has an existing block wall across its rear and up the side. A white picket fence runs from the Fifth Avenue frontage down the north property line, approximately 60′ east.

I will not repeat what I said at the meeting. I submitted a statement and a plot plan showing my request. Requiring a block wall along every inch of the side property lines will foreclose the retention of the mature plants and shrubs along the property lines.

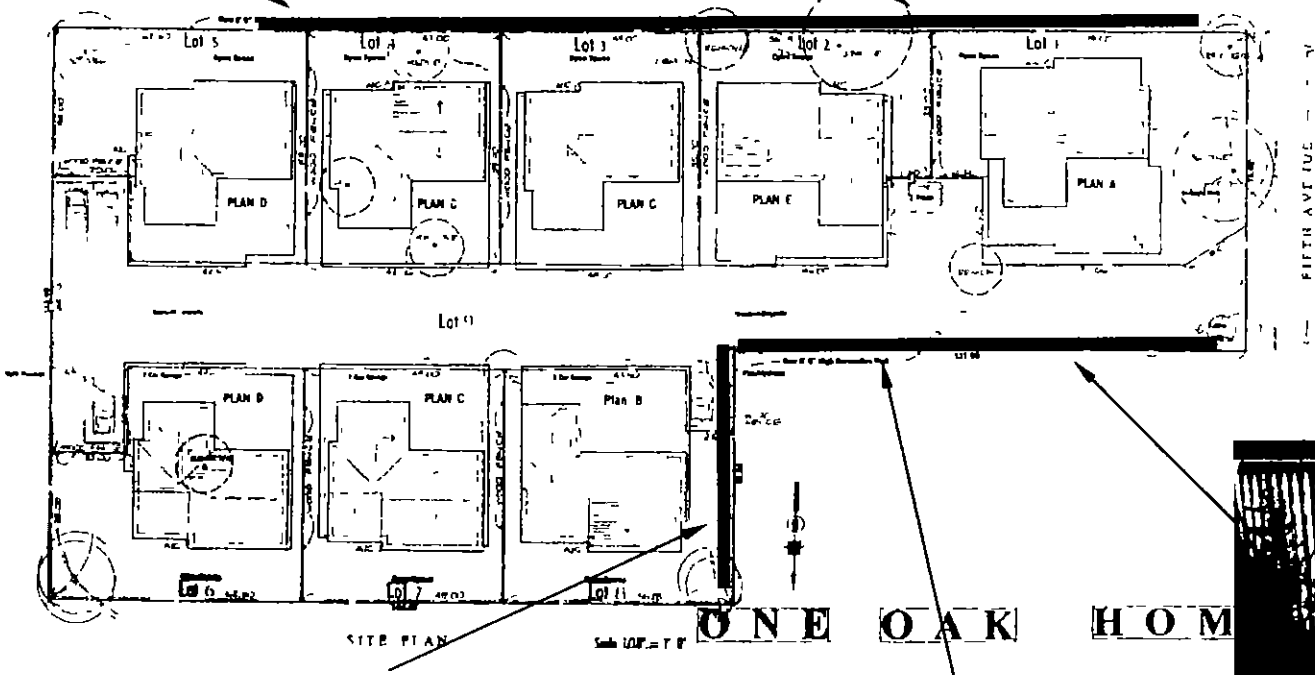
After the public hearing was closed, in response to a question from a member of the Planning Commission, staff stated, incorrectly, that the requirement of a block wall could not be waived. My request regarding the wall was then disregarded. The merits of my request regarding the wall were never discussed or considered.

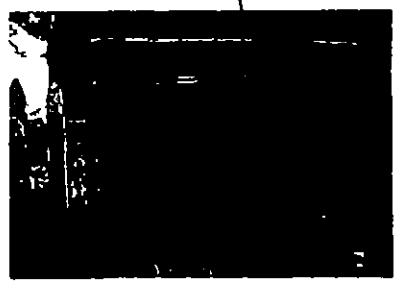
So there is no surprise, I wanted to inform you I intend to renew my request regarding the wall at the hearing before the City Council.

Very truly yours,

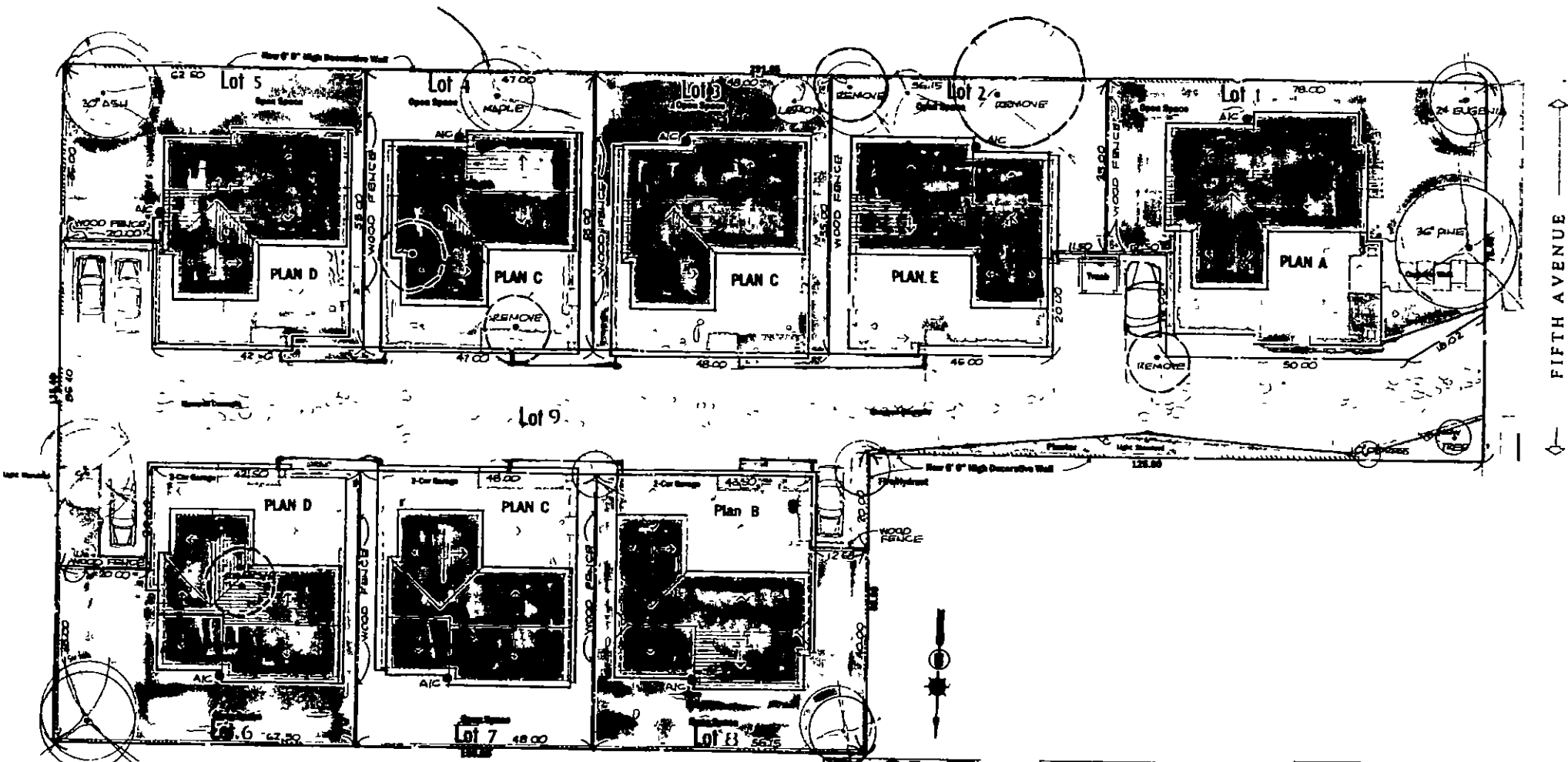
THOMAS KEISER

TK/t





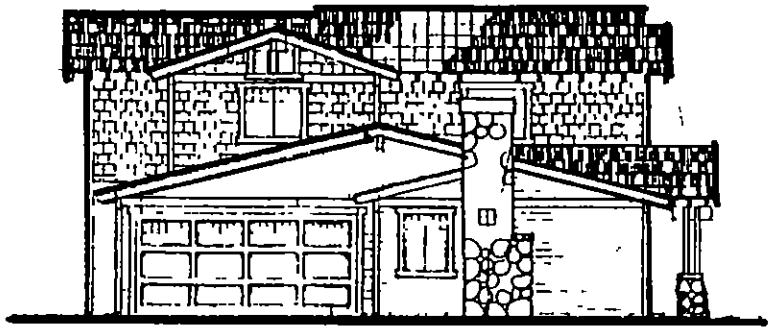
Existing Fence Location



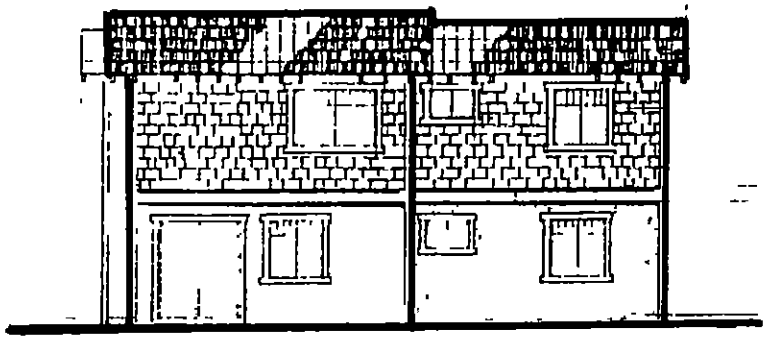
SITE PLAN

Scale 1/00" = 1'-0"

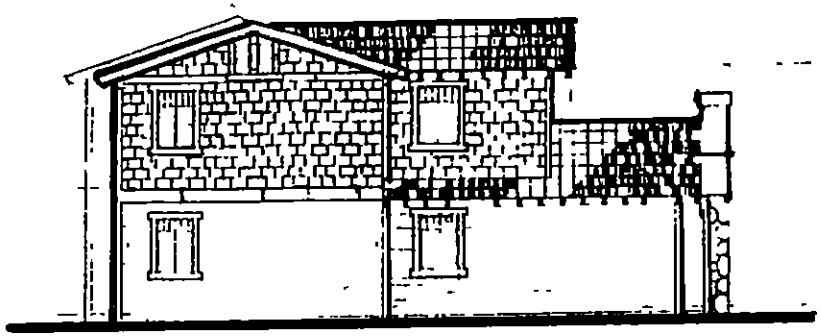
ONE OAK HOMES



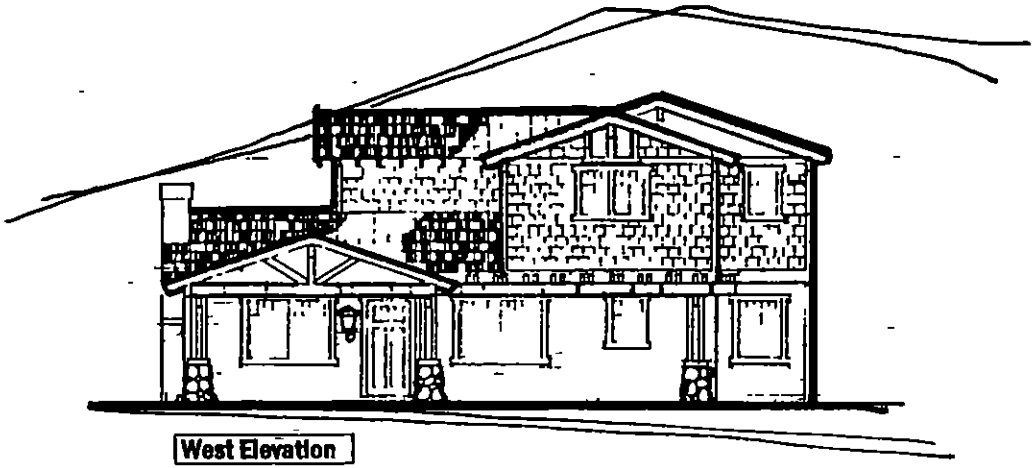
North Elevation



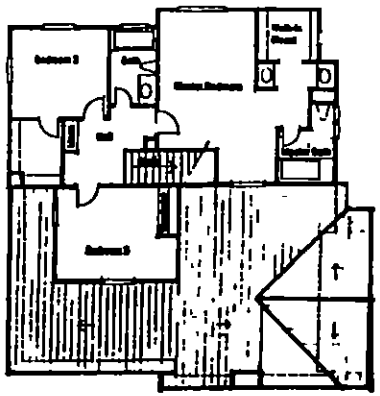
South Elevation



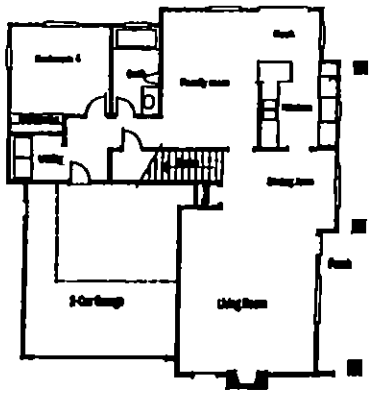
East Elevation



West Elevation



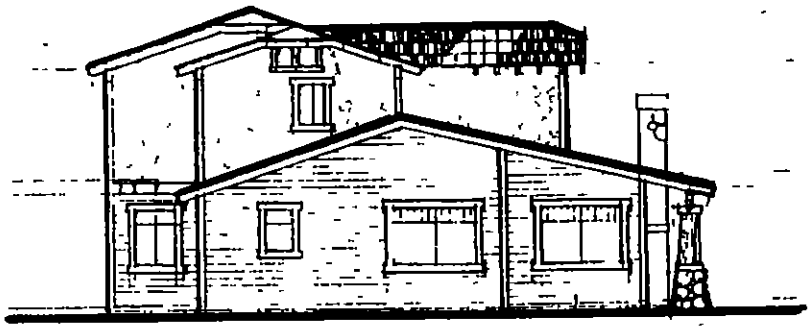
SECOND FLOOR PLAN



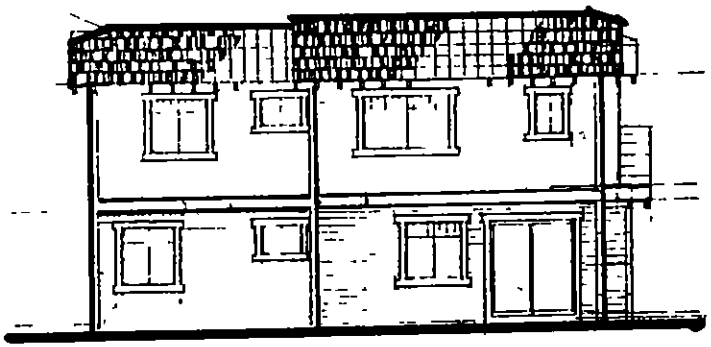
FIRST FLOOR PLAN

2252 Square Feet, 4 Bedrooms, 3 Baths, 2 Space Garage

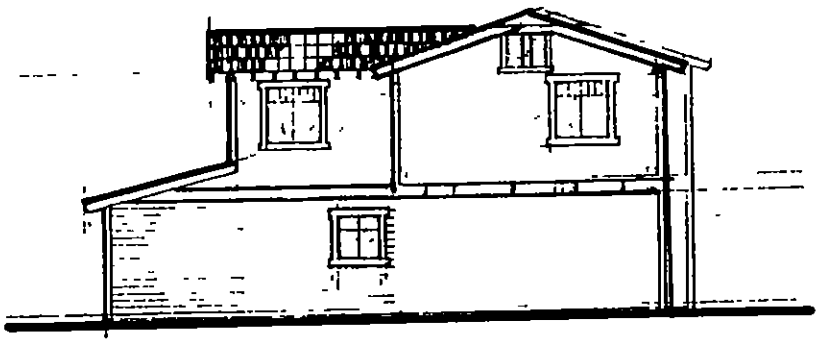
PLAN A



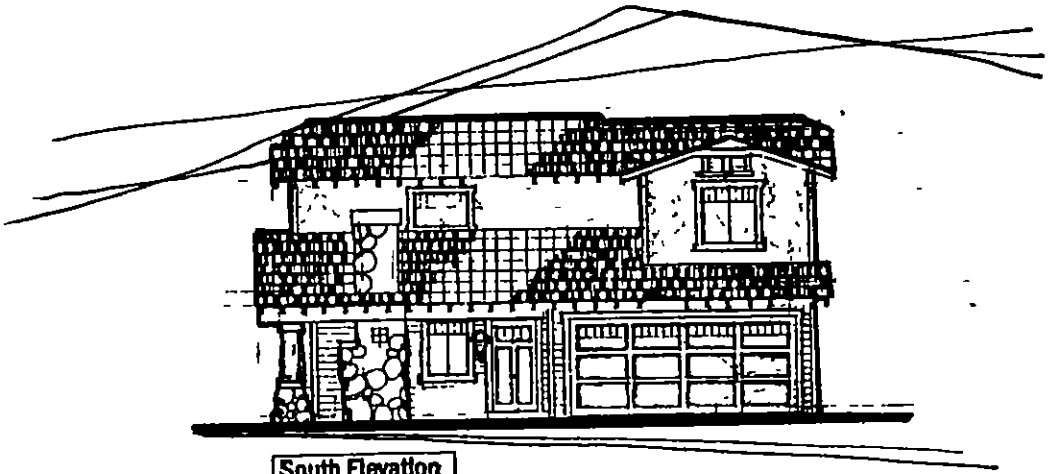
West Elevation



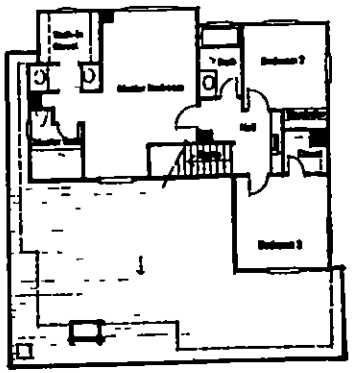
North Elevation



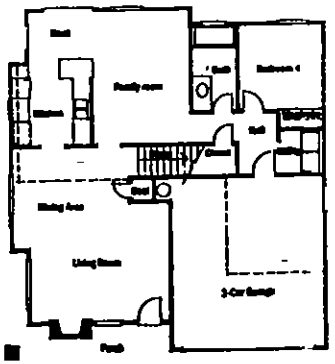
East Elevation



South Elevation



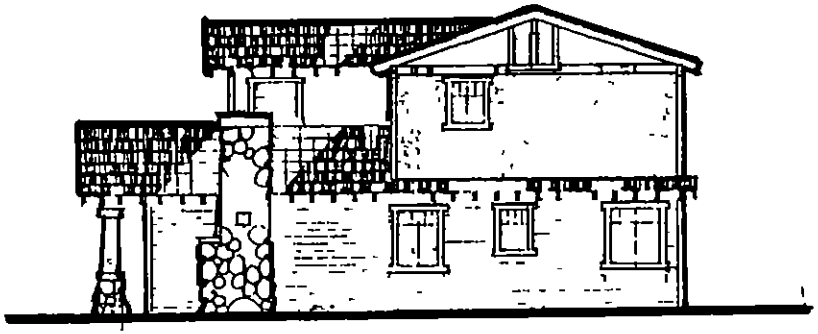
SECOND FLOOR PLAN



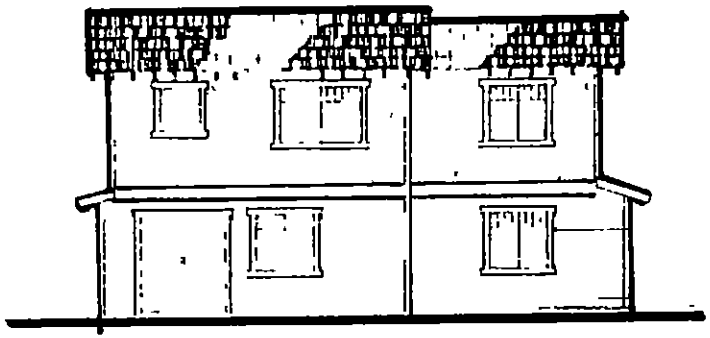
FIRST FLOOR PLAN

1937 Square Feet, 4 Bedrooms, 3 Baths, 2 Space Garage

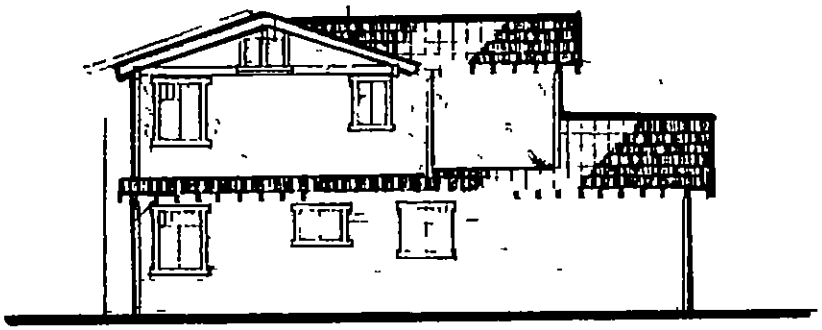
PLAN B



West Elevation

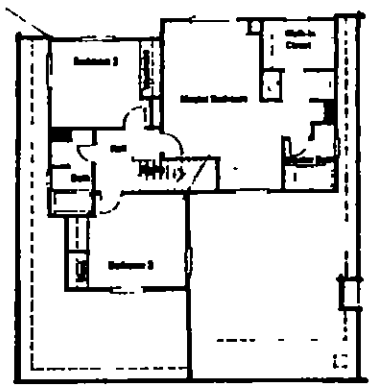


South Elevation

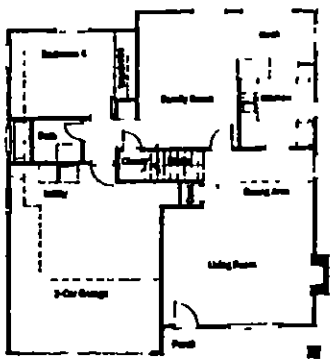


East Elevation

North Elevation



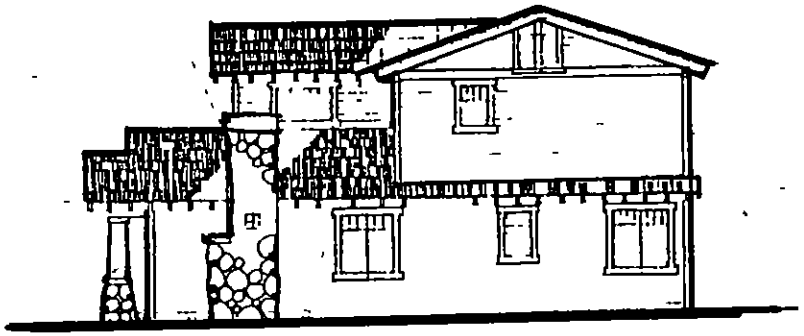
SECOND FLOOR PLAN



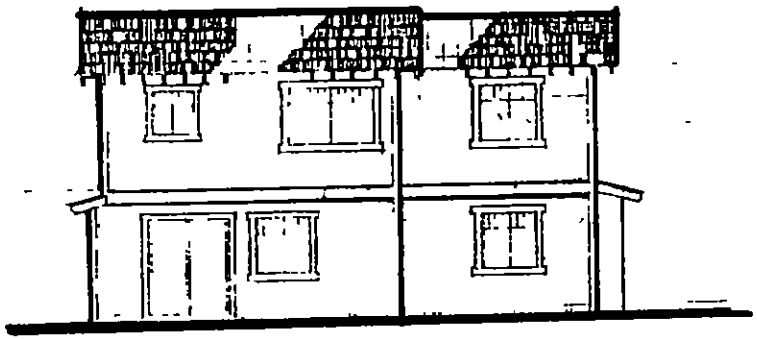
FIRST FLOOR PLAN

1887 Square Feet, 4 Bedrooms, 3 Baths, 2 Space Garage

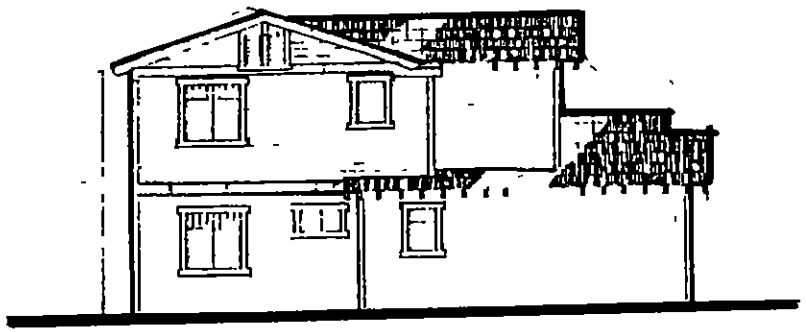
PLAN C



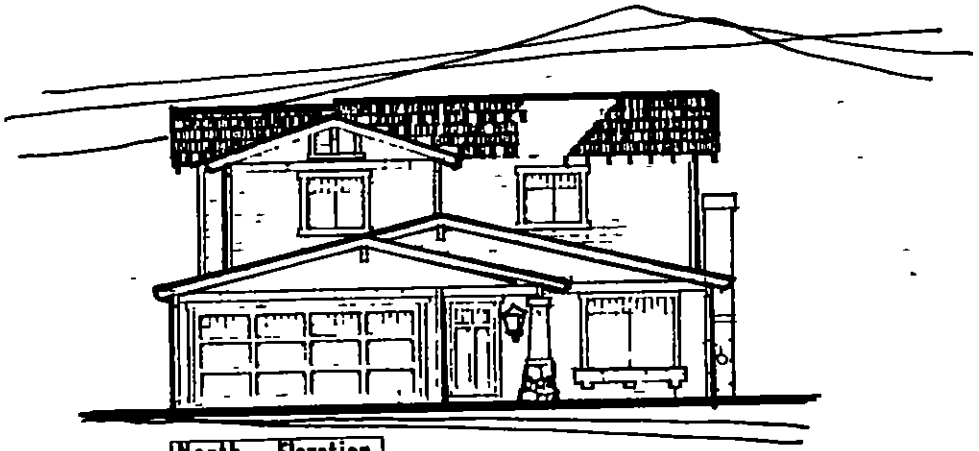
West Elevation



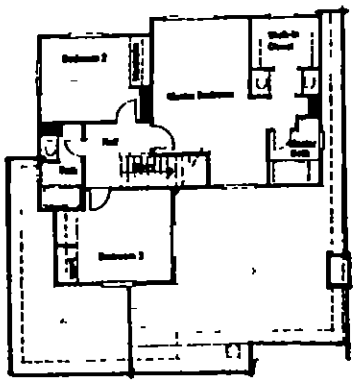
South Elevation



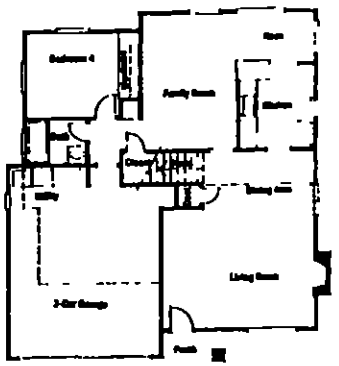
East Elevation



North Elevation



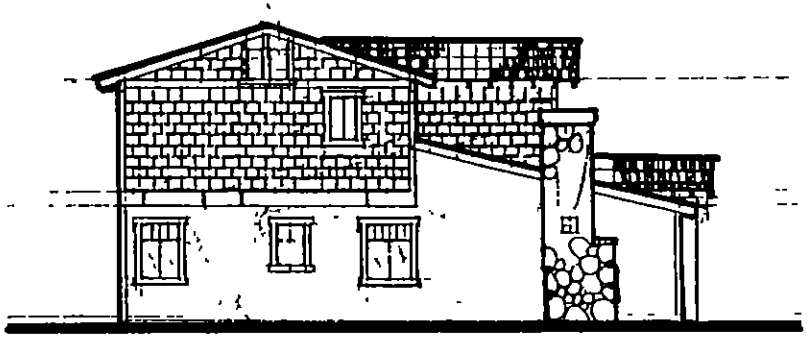
SECOND FLOOR PLAN



FIRST FLOOR PLAN

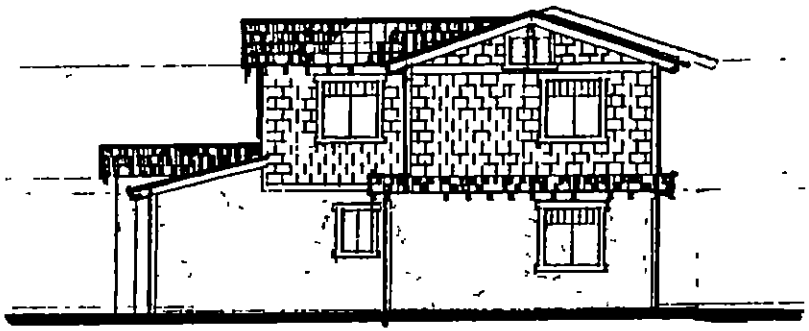
1857 Square Feet, 4 Bedrooms, 3 Baths, 2 Space Garage

PLAN D

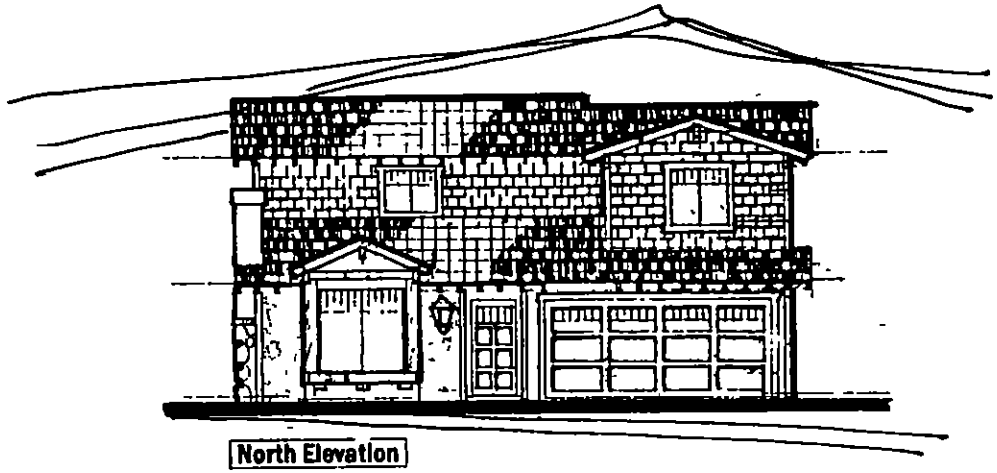


East Elevation

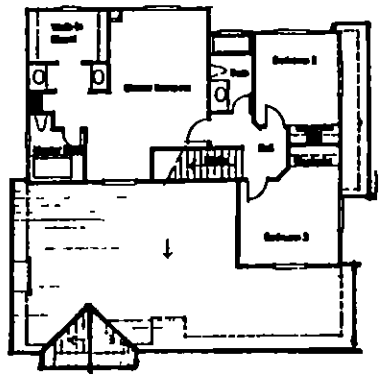
South Elevation



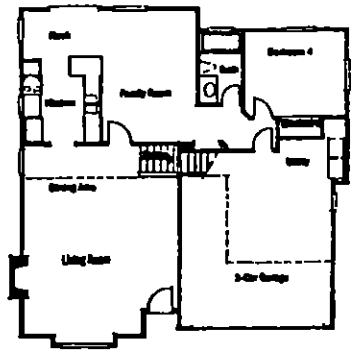
West Elevation



North Elevation



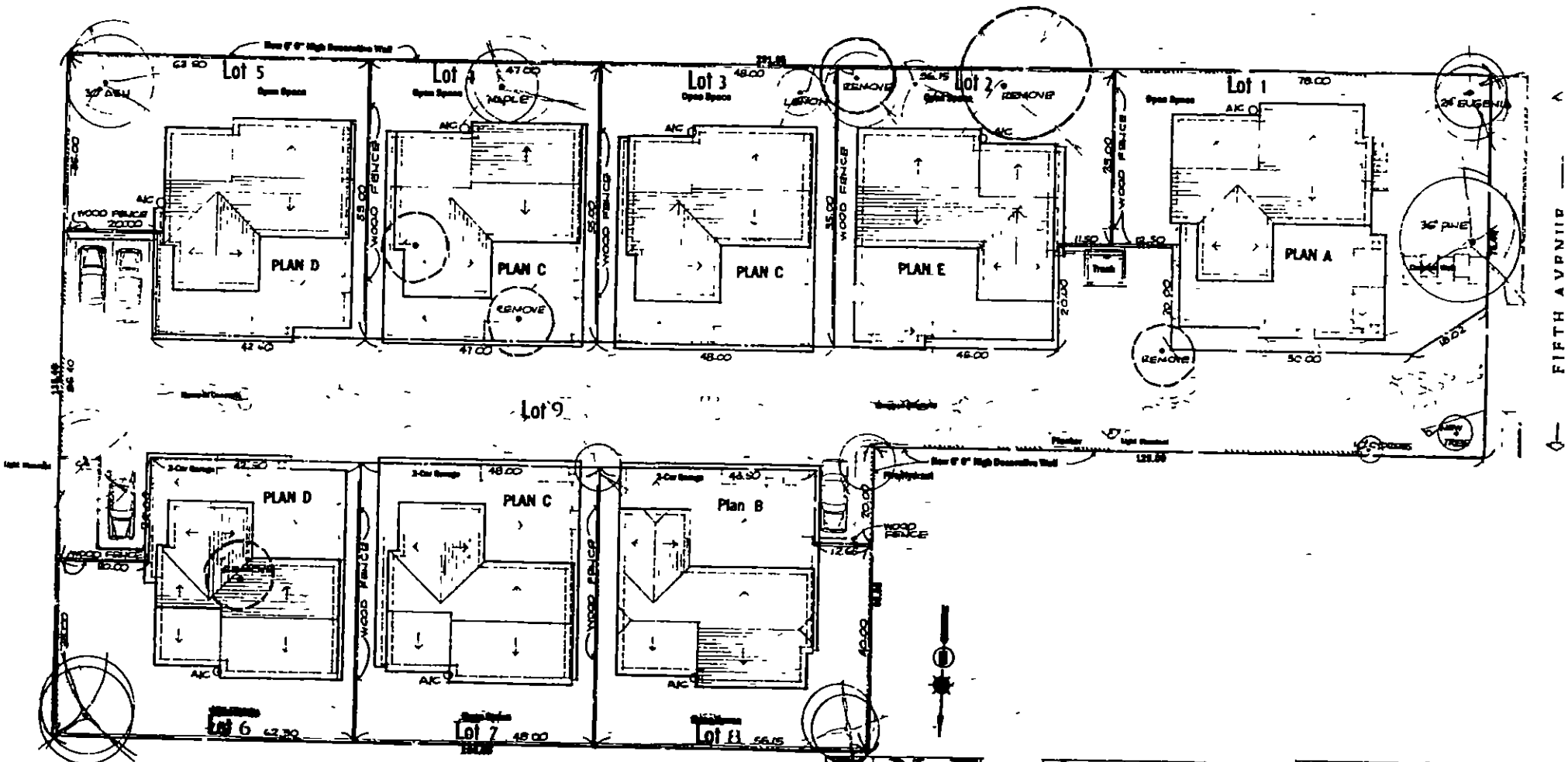
SECOND FLOOR PLAN



FIRST FLOOR PLAN

1946 Square Feet, 4 Bedrooms, 3 Baths, 2 Space Garage

PLAN E



SITE PLAN

Scale 1/10" = 1'-0"

ONE OAK HOMES

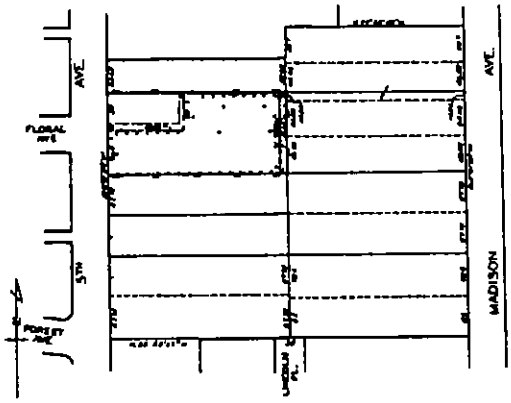
NOTICE OF PUBLIC HEARING

MONROVIA CITY COUNCIL
415 South Ivy Avenue
Monrovia, CA 91016

This Notice is to inform you of a public hearing to determine whether or not the following request should be granted under Title 16 and/or 17 of the Monrovia Municipal Code

APPLICATION	Tentative Tract Map No 54139/Condtional Use Permit CUP2003-01
REQUEST	Construct an eight unit, 2-story, detached Planned Unit Development in the RH Zone
ENVIRONMENTAL IMPACT DOCUMENT	Categorical Exemption (Class 32)
APPLICANT	Thomas Keiser
PROPERTY ADDRESS	202 South Fifth Avenue
DATE AND HOUR OF HEARING	Tuesday, February 25, 2003 at 7 30 PM
PLACE OF HEARING	Monrovia City Hall, Council Chambers 415 South Ivy Avenue, Monrovia, California

AREA MAP



Staff Report pertaining to this item will be available on Thursday, February 20, 2003 at the Monrovia City Hall, 415 South Ivy Avenue, Monrovia, California, Community Development Department/Planning Division

If you challenge this application in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Division at, or prior to, the public hearing

This case will not alter the zoning status of your property For further information regarding this application, please contact the Planning Division at (626) 932-5565

Este aviso es para informarle sobre üna junta pública acerca de la propiedad indicada mas arriba

Si necesita información adicional en español, favor de ponerse en contacto con Ili Lobaco del Departamento de Planificación al número (626) 932-5587

STEVE SIZEMORE
Planning Division Manager

PLEASE PUBLISH ON OR BEFORE FEBRUARY 13, 2003

F \PLANNING\2003 Planning Commission\1-15-03\202 S Fifth\NPH template-cc dot